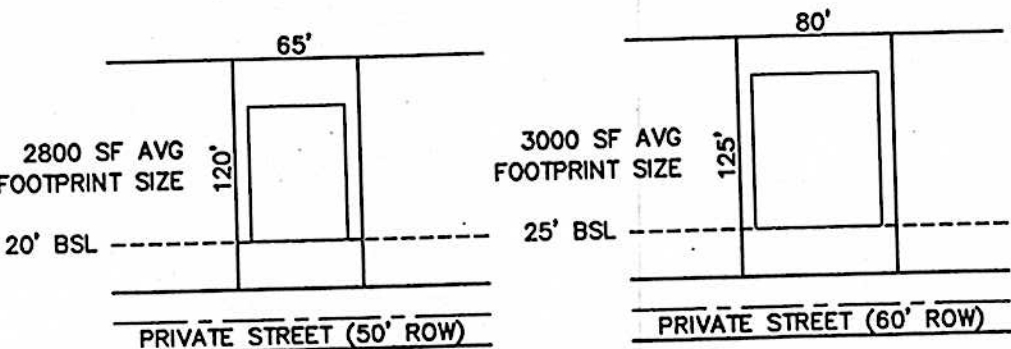


- LEGEND:**
- 1 PROPERTY OWNERSHIP INFORMATION (SEE LIST)
 - A EASEMENT INFORMATION (SEE LIST)
 - EXISTING FEMA 100-YEAR FLOOD PLAIN
 - 10' CONTOURS
 - 50' CONTOURS
 - 200' NOTIFICATION BOUNDARY
 - COSA/BEXAR COUNTY LIMITS

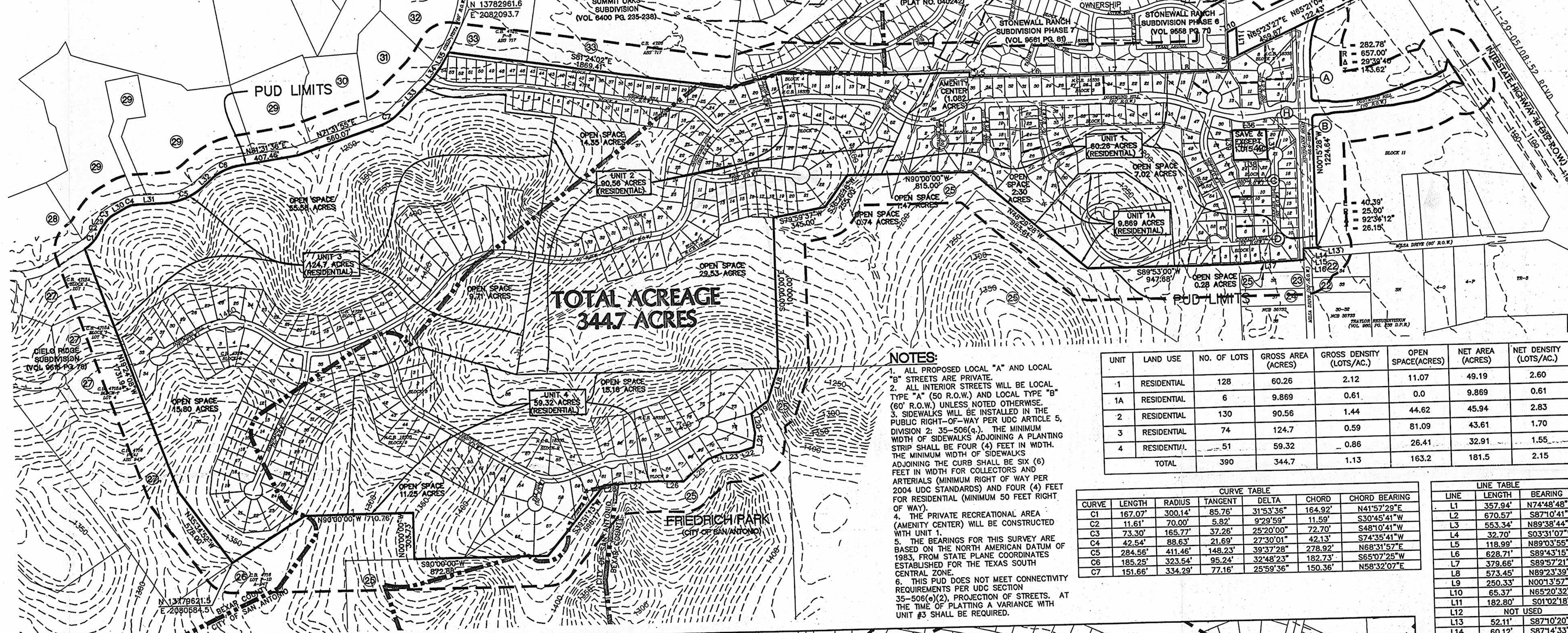
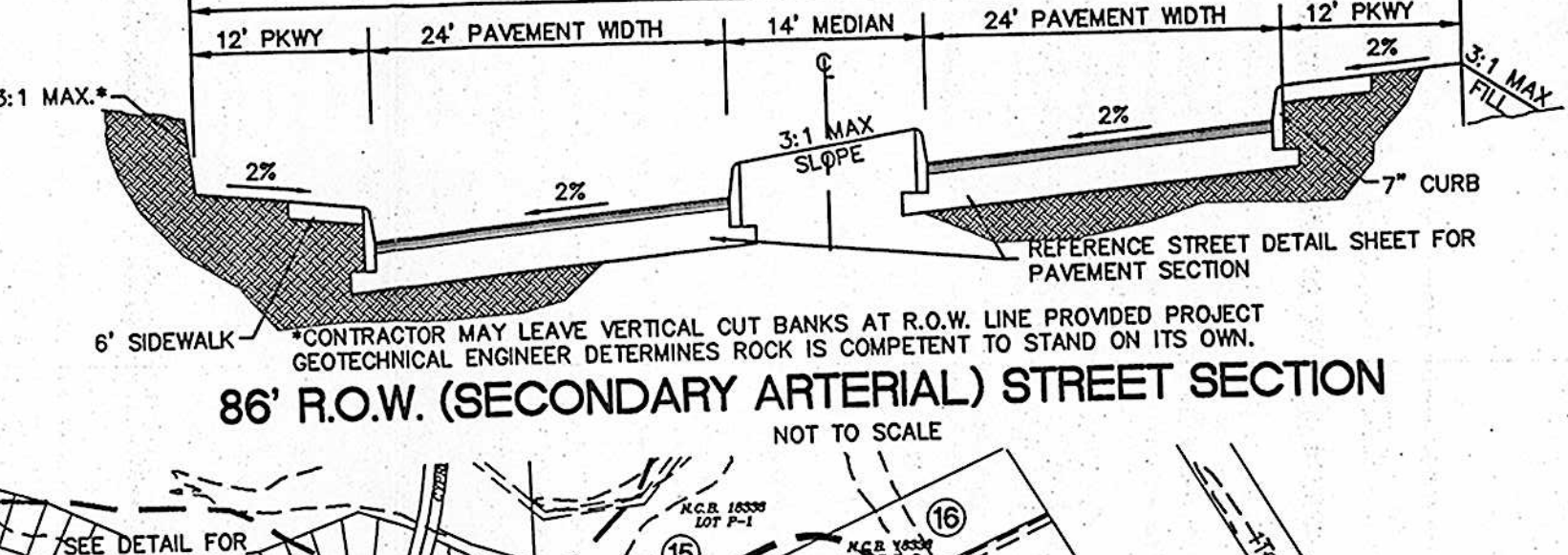
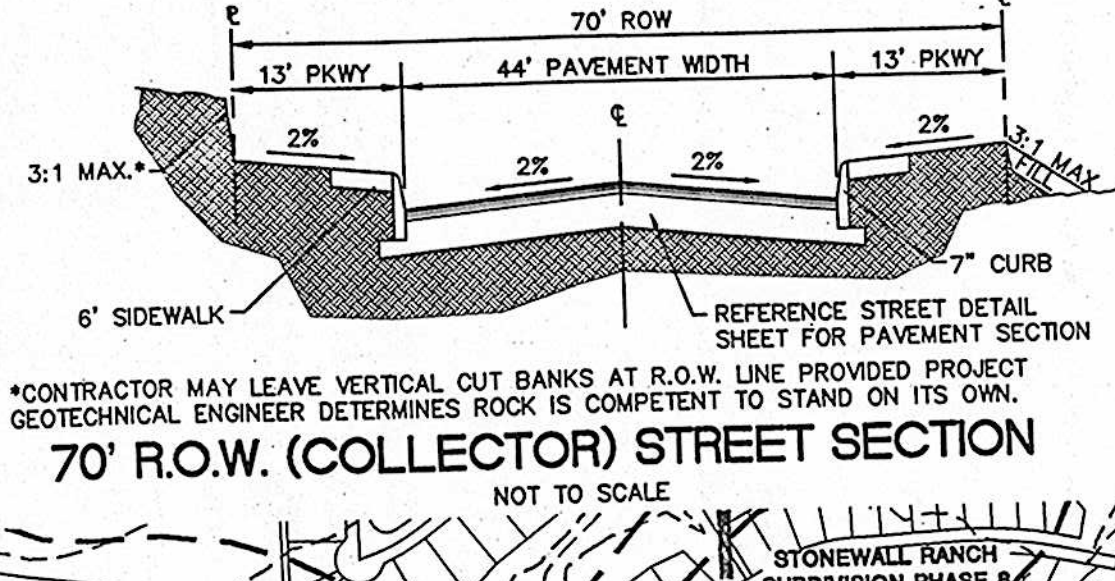
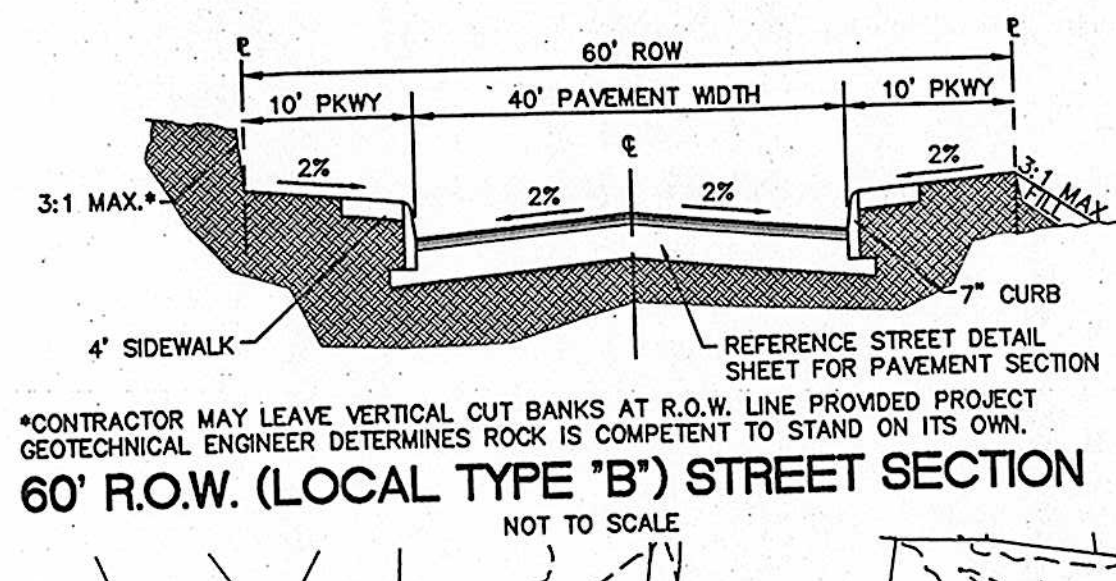
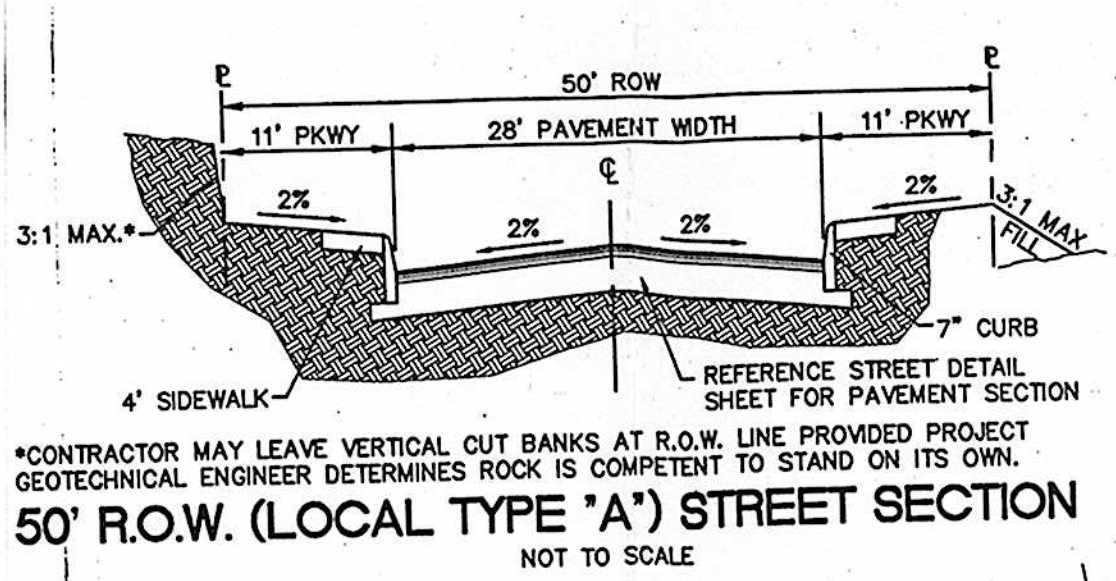


EASEMENT INFORMATION:

- (A) 10' WATER EASEMENT (VOL. 9228, PGS. 1539-1544, R.P.R.)
- (B) 60' PRIVATE ROAD EASEMENT (VOL. 1108, PG. 213 D.R.)
- (C) ELECTRIC EASEMENT (VOL. 3569, PGS. 240-241 D.R.) 4,000 ACRES (VOL. 3641, PGS. 401-402 D.R.)
- (D) ELECTRIC EASEMENT (VOL. 3569, PGS. 242-243 D.R.) 2,000 ACRES (VOL. 3641, PGS. 380-381 D.R.)
- (E) VARIABLE WIDTH DRAINAGE EASEMENT (VOL. 9561, PG. 81 D.P.R.)
- (F) VARIABLE WIDTH DRAINAGE EASEMENT (VOL. 9558, PG. 71 D.P.R.)
- (G) VARIABLE WIDTH DRAINAGE EASEMENT (VOL. 9566, PG. 21-22 D.P.R.)
- (H) PROPOSED 30' ACCESS EASEMENT

PROPERTY OWNERSHIP INFORMATION:

- 1 Eric E. Woodward and Annette Cherl LOT 6 BLK 22 NCB 18338
- 2 Newmark Homes LP. LOTS 9-10, 35, 38, 40, 42-50 BLK 22 NCB 18338 LOTS 1-2, BLK 25 NCB 18338 LOTS 8-22, BLK 28 NCB 18338 LOTS 10-17, BLK 19 NCB 18338
- 3 Paul R. and Debra Madura LOT 8 BLK 22 NCB 18338
- 4 Thomas F. Ohara and Rohelmina Q. Nain Sanchez LOT 12 BLK 22 NCB 18338
- 5 Greg S. and Melanie J. Mabrito LOT 14 BLK 22 NCB 18338
- 6 Darrell James and Diana Edwina Taylor LOT 16 BLK 22 NCB 18338
- 7 Glen Marcel and Shelby Ann Najvar LOT 17 BLK 22 NCB 18338
- 8 Nancy L. Swanner LOT 18 BLK 22 NCB 18338
- 9 Randall D. Barnes LOT 19 BLK 22 NCB 18338
- 10 Jalme and Karen Smith LOT 20 BLK 22 NCB 18338
- 11 Santiago and Patricia Cordova LOT 22 BLK 22 NCB 18338
- 12 John Lopez LOT 6 BLK 24 NCB 18338
- 13 Alaina D. Hallmark LOT 2 BLK 24 NCB 18338
- 14 Stonewall Ranch Owners Assoc. c/o Asen, Mortl Sica LOT 3 BLK 22 NCB 18338
- 15 BK Dominion Ridge Park, LP. LOT P-1 NCB 18338
- 16 Eddie and Billie Morris LOT P-2 NCB 18338
- 17 Sunrise Fellowship of San Antonio, Inc. LOT P-5A NCB 18338
- 18 David M. Callaway LOT P-12 NCB 34034
- 19 Maurice E. and Claude C. Reagan LOT P-11 NCB 34034
- 20 Paul D. Knaupp LOT W NCB 35733
- 21 Adolph P. Knaupp LOT 4N.416 NCB 35733
- 22 Walter J. St. James Residuary Trust LOT 34 NCB 35733
- 23 Robert Cervantes LOT 36 NCB 35733
- 24 Jose G. and Susie C. Flores LOT 37 NCB 35733
- 25 City of San Antonio LOTS P-1, P-2 NCB 18334
- 26 Cielo Vista Associates LOT P-10 CB 4716
- 27 Joseph P. Murgio LOT 2, 4, 1 BLK 1, 2 CB 4715A
- 28 Lucia Ofelia Torres LOT 28 BLK 2 CB 4566A, CB 4715, P-10 ABS 411
- 29 Dawn M. Woodlee CB 4715, 4728 P-1D, P-3C ABS 411, 717
- 30 Jesse Pena CB 4728 P-3D ABS 717
- 31 Jesse E. and Cynthia Pena CB 4728 P-3F ABS 717
- 32 Sol and Jennifer Zinna CB 4728 P-3 ABS 717
- 33 Johannes C. H. and Joanna Laven CB 4728 P-8, P-3B ABS 717
- 34 Kamal Surapboonchol LOT 33 BLK 22 NCB 18338
- 35 Charles Riddle LOT 32 BLK 22 NCB 18338
- 36 Rebecca Renee Cuellar LOT 31 BLK 22 NCB 18338
- 37 Michael Stetler LOT 30 BLK 22 NCB 18338
- 38 Isreal Cordova LOT 29 BLK 22 NCB 18338
- 39 Jessica Marlowe LOT 27 BLK 22 NCB 18338
- 40 HM Dominion Ridge LOT 24 BLK 28 NCB 18338
- 41 Ramon and Julia Campo LOT P-6A NCB 34034
- 42 Daniel and Mary E. Cervantes LOT P-6 NCB 34034
- 43 Cory A. and Allison M. Smith LOT 21 BLK 22 NCB 18338
- 44 Alan Whitelaw LOT 7 BLK 24 NCB 18338
- 45 Richard and Joan Gohn LOT 5 BLK 24 NCB 18338
- 46 Michael Moreno LOT 11 BLK 22 NCB 18338
- 47 Brian Keith and Debra Lytton LOT 4 BLK 24 NCB 18338
- 48 Carolyn Copley LOT 15 BLK 22 NCB 18338
- 49 Ursula K. Silberschlag and Stephen Gill LOT 3 BLK 24 NCB 18338
- 50 William and Paige Loveless LOT 13 BLK 22 NCB 18338
- 51 Daniel Pepe LOT 34 BLK 22 NCB 18338
- 52 Kimatha O. and John Paul Grice LOT 35 BLK 22 NCB 18338
- 53 Kellie Rowell-Efurd and Kevin P. Efurd LOT 37 BLK 22 NCB 18338
- 54 Beth E. and Paul E. Manz LOT 39 BLK 22 NCB 18338
- 55 Debra D. and John H. Page LOT 41 BLK 22 NCB 18338



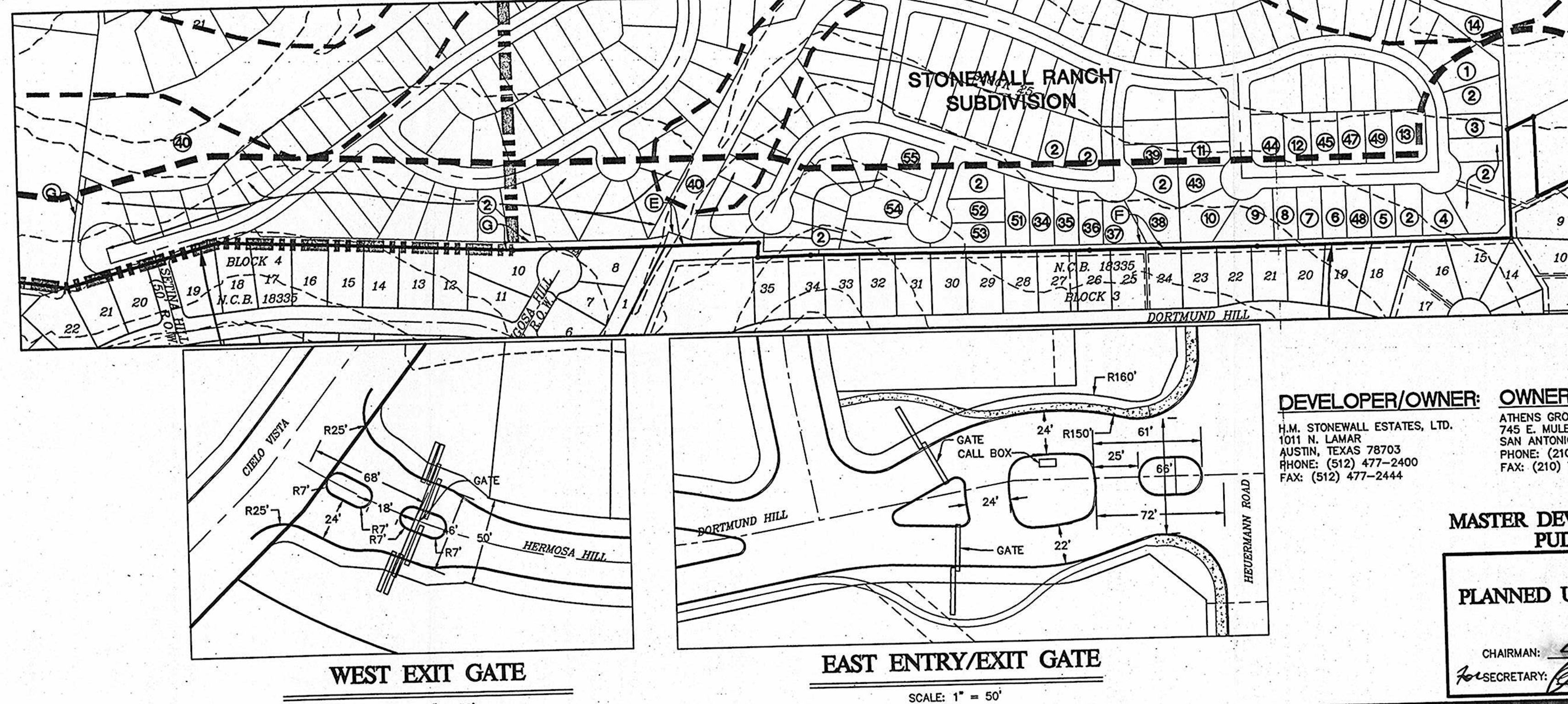
NOTES:

1. ALL PROPOSED LOCAL "A" AND LOCAL "B" STREETS ARE PRIVATE.
2. ALL INTERIOR STREETS WILL BE LOCAL TYPE "A" (50' R.O.W.) AND LOCAL TYPE "B" (60' R.O.W.) UNLESS NOTED OTHERWISE.
3. SIDEWALKS WILL BE INSTALLED IN THE PUBLIC RIGHT-OF-WAY PER UDC ARTICLE 5, DIVISION 2, 35-508(4). THE MINIMUM WIDTH OF SIDEWALKS ADJOINING A PLANTING STRIP SHALL BE FOUR (4) FEET IN WIDTH. THE MINIMUM WIDTH OF SIDEWALKS ADJOINING THE CURB SHALL BE SIX (6) FEET IN WIDTH FOR COLLECTORS AND ARTERIALS (MINIMUM RIGHT OF WAY PER 2004 UDC STANDARDS) AND FOUR (4) FEET FOR RESIDENTIAL (MINIMUM 50 FEET RIGHT OF WAY).
4. THE PRIVATE RECREATIONAL AREA (AMENITY CENTER) WILL BE CONSTRUCTED WITH UNIT 1.
5. THE BEARINGS FOR THIS SURVEY ARE BASED ON THE NORTH AMERICAN DATUM OF 1983, FROM STATE PLANE COORDINATES ESTABLISHED FOR THE TEXAS SOUTH CENTRAL ZONE.
6. THIS PUD DOES NOT MEET CONNECTIVITY REQUIREMENTS PER UDC SECTION 35-506(a)(2), PROJECTION OF STREETS. AT THE TIME OF PLATING A VARIANCE WITH UNIT #3 SHALL BE REQUIRED.

UNIT	LAND USE	NO. OF LOTS	GROSS AREA (ACRES)	GROSS DENSITY (LOTS/AC.)	OPEN SPACE(ACRES)	NET AREA (ACRES)	NET DENSITY (LOTS/AC.)
1	RESIDENTIAL	128	60.26	2.12	11.07	49.19	2.60
1A	RESIDENTIAL	6	9.869	0.61	0.0	9.869	0.61
2	RESIDENTIAL	130	90.56	1.44	44.62	45.94	2.83
3	RESIDENTIAL	74	124.7	0.59	81.09	43.61	1.70
4	RESIDENTIAL	51	59.32	0.86	26.41	32.91	1.55
TOTAL		390	344.7	1.13	163.2	181.5	2.15

CURVE	LENGTH	RADIUS	TANGENT	DELTA	CHORD	CHORD BEARING
C1	167.07	300.14	85.78	31°53'36"	164.92	N41°57'29"E
C2	11.61	70.00	5.82	9°29'59"	11.59	S30°45'41"W
C3	73.30	165.77	37.26	25°20'00"	72.70	S48°10'41"W
C4	42.54	88.63	21.69	27°30'01"	42.13	S74°35'41"W
C5	284.56	411.46	148.23	39°37'28"	278.92	N68°31'57"E
C6	185.25	323.54	95.24	32°48'23"	182.73	S65°07'25"W
C7	151.66	334.25	77.16	25°59'36"	150.36	N58°32'07"E

LINE	LENGTH	BEARING
L1	357.94	N74°48'48"E
L2	670.57	S87°10'41"E
L3	553.34	N89°38'44"E
L4	32.70	S03°31'07"W
L5	118.99	N89°33'55"E
L6	628.71	S89°33'15"E
L7	379.66	S89°57'21"E
L8	573.45	N89°23'39"E
L9	250.33	N001°3'57"W
L10	65.37	N65°20'32"E
L11	182.80	S01°02'18"E
L12	NOT USED	
L13	52.11	S87°10'20"W
L14	60.12	S87°14'33"W
L15	2.92	S00°15'28"E
L16	70.27	S00°16'33"E
L17	471.33	S87°39'37"W
L18	224.12	S87°12'19"W
L19	134.84	S54°23'19"W
L20	131.12	S09°26'10"E
L21	96.17	S08°30'02"W
L22	101.39	S72°03'14"W
L23	98.31	S88°05'19"W
L24	113.03	S67°57'07"W
L25	218.58	S48°07'47"W
L26	159.22	N88°06'13"W
L27	302.51	S87°32'23"W
L28	67.62	S87°32'23"W
L29	47.68	N55°30'41"E
L30	107.47	N65°02'41"E
L31	196.54	N88°20'41"E
L32	81.40	N48°43'13"E
L33	297.42	N45°32'19"E
L34	114.58	N37°32'37"E
L35	114.15	N31°22'51"E
L36	221.87	S89°48'20"W
L37	198.86	N01°35'38"W
L38	223.58	N89°51'43"E
L39	198.48	S01°06'07"E



DEVELOPER/OWNER: H.M. STONEWALL ESTATES, LTD. 1011 N. LAMAR, AUSTIN, TEXAS 78703 PHONE: (512) 477-2400 FAX: (512) 477-2444

OWNER: ATHENS GROUP 745 E. MULBERRY STE. 400 SAN ANTONIO, TEXAS 78212 PHONE: (210) 735-9899 FAX: (210) 735-9791

DESIGNER: PAPE-DAWSON ENGINEERS, INC. 555 E. RAMSEY SAN ANTONIO, TEXAS 78216 PHONE: (210) 375-9000 FAX: (210) 375-9010

MASTER DEVELOPMENT PLAN NO. 821 PUD PLAN NO. 05-037

APPROVED PLANNED UNIT DEVELOPMENT PLAN
PLANNING COMMISSION
CITY OF SAN ANTONIO

CHAIRMAN: [Signature] DATE: 12/28/2005
SECRETARY: [Signature] DATE: 12/28/2005

PAPE-DAWSON ENGINEERS
1966-2005, 40 YEARS OF EXCELLENCE
555 EAST RAMSEY SAN ANTONIO, TEXAS 78216
PHONE: (210) 375-9000 FAX: (210) 375-9010

STONEWALL ESTATES
PLANNED UNIT DEVELOPMENT (PUD) PLAN

JOB NO. 6139-00
DATE: SEPTEMBER 2005
DESIGNER: BAC
CHECKED: SLW, DRAWN: AKP
SHEET: C1.00



A memo from the
CITY of SAN ANTONIO
Planning Department
Master Development

TO: Becky Culpepper

DATE: December 28, 2005

Address: 555 East Ramsey
San Antonio, Texas 78216

FROM: Michael O. Herrera, Special Projects Coordinator

COPIES TO: File

SUBJECT: # 05-037

Name: Stone Wall Estates, PUD

The plat or plan referenced above was heard by the ☒ Planning Commission

☐ Director of Planning COSA

on the date shown.

The following action was taken:

☒ APPROVED With Conditions
☐ DISAPPROVED

A plat will not be recorded pending site improvements, the required guarantee is posted or payment of impact fees are paid (or filed).

Approved with the following Conditions:

CONDITIONS:

The dedicatory instrument(s) (Legal Instrument) for common areas and facilities must be approved by the City Attorney as to legal form prior to any plat recordation and shall be recorded at the same time as the plat. UDC 35-344(i)

Storm Water Engineering

Storm Water Engineering recommends approval with the following condition:

- Any change in location of roads, lots, drainage easements, or drainage rights-of-way during platting of units will require an amendment to the PUD Plan.

San Antonio Water System (SAWS)

SAWS cites the following:

Plat Certification will require compliance with Aquifer Protection Ordinance 81491. This evaluation will require the following:

- 100 Year Flood Plain and buffering to be shown (if applicable)
- Sensitive Recharge Features and buffering to be shown (if applicable)
- Category Letter of all Site Specific Plats (Category 2 and 3 require Aquifer Protection Plan)

In addition, prior to construction, a Water Pollution Abatement Plan (WPAP) or Contributing Zone Plan must be submitted to and approved by the Texas Commission on Environmental Quality (TCEQ).

Streets and Drainage

The DSD – Streets Division has reviewed the Stonewall Estates PUD (time-stamped October 6, 2005). The analysis indicates compliance with the UDC.

The following requirements are necessary and shall be provided by the developer, on and before the completion of the Stonewall Estates PUD, at no cost to the City of San Antonio:

- For cul-de-sacs greater than 500 ft long, pavement widths are required to be 30 ft wide, with 50 ft radius pavement turnarounds, to be reviewed during platting.
- Grades are shown to be in excess of the 12 and 15% limits of UDC 35-506(d)(3). Grade and K-value requirements of the UDC shall be complied with during platting.
- Blocks lengths shown are greater than that allowed by UDC 35-515(b)(3). Block length standards shall be reviewed at time of platting.
- All access roadways shall provide clear sight distance on all existing and proposed roadways in accordance to UDC 35-506(d)(5). All signage, landscaping, and improvements shall be selected and located so as to not block these clear sight distance areas.

It should be understood that this is a general review of a conceptual plan not an in-depth review of streets and drainage plans. All technical requirements of the Unified Development Code for Streets and Drainage will be complied with at the time of platting.

Traffic Impact Analysis

The Development Services Engineering Division has reviewed the Level-3 Traffic Impact Analysis (TIA) for the Stonewall Estates Planned Unit Development (PUD) Plan. The analysis is in compliance with TIA Ordinance 91700.

The Stonewall Estates Development is located north of Milsa Drive and South of IH-10 West and extends between IH-10 Eastbound Frontage Road and Cielo Vista Drive. The proposed development consisting of 381.8 acres is proposed to be developed with 390 single-family residences, 35.58 acres of commercial property. The build out of this project is estimated to be in the year 2010.

The following on-site improvements, as well as, improvements along the project limits are necessary and shall be provided by the developer at the time of platting for the Stonewall Estates Development PUD at no cost to the City of San Antonio:

- **Milsa Drive/Heuermann Road** - Dedicate 86-feet of ROW and construct a 4-lane divided roadway (Secondary Arterial Type A). The limits of construction shall be extended through the Stonewall Estates development as shown on the City of San Antonio Major Thoroughfare Plan.

UDC Requirements for the design and construction of Milsa Drive/Heuermann Road:

Article 5, 35-506

(g) Dedication of Arterial (1) Adjacent streets. The sub divider shall dedicate right-of-way width and provide pavement width in accordance with the following table and typical sections in subsection (d) of this Section:

Street Type	Right - of - Way Width	Pavement Width
Primary Arterial	60 - feet	24 - feet with curbs
Secondary Arterial	43 - feet	24 - feet with curbs

(d) Cross-Section and Construction Standards

(1) Interior Streets

The sub divider shall dedicate all interior Streets within the subdivision based on Table 506-3 (Conventional Street Design).

- **Milsa Drive/Heuermann Road and Dortmund Hill** - The developer shall be responsible for upgrading capacity, which includes a southbound right-turn deceleration lane with a storage lane and bay taper as it relates to the submitted TIA traffic counts, (Uniform Development Code (UDC) - 35-502 (a)(7), subsection C.
 - Clear sight distances shall be provided at each roadway intersection to allow adequate, obstruction-free viewing distances for approaching traffic. All signage, landscaping and improvements should be selected and located so as to not obscure the minimum intersection visibility.

- The internal roadway, Dortmund Hill should be constructed as a Local Type 'B' – from Heuermann Road to approximately 800 feet west of the Wine Cup Hill. From this point on, a Local Type 'A' may be constructed. This recommendation is based on the current planned land use and PUD Plan.
- All Roadways shall conform to UDC 35-506 (c), (1), Table 506-1: Functional Classification System Description.
- All commercial driveways for this project shall comply with UDC 35-506, (r) Access and Driveways.
- Provide clear sight distance at each roadway to provide adequate distance for obstruction free viewing distances for approaching traffic. All signage, landscaping and improvements should be selected and located so as to not block these clear sight distance areas.

The following off-site improvements are recommended in the TIA. The developer is not responsible for these improvements based on **TIA Ordinance 91700 and UDC 35-502 (5) Mitigation, B.** However, in order to improve traffic operations in the vicinity the developer can **apply UDC 35-502 (7) Limitations on Traffic Impact Mitigation, B.** - Voluntary efforts, beyond those herein required, to mitigate traffic impacts are encouraged as a means of providing enhanced traffic handling capabilities to users of the land development site as well as others:

- The All-Way Stop Controlled intersections at Camp Bullis Road and Boerne Stage Road at the intersection of the IH-10 Frontage Roads, should be signalized in order to improve traffic operations at these intersections. Signalizing these intersections would improve the Level of Service of these intersections.

Heuermann Road and Babcock Road have undeveloped land along its length to develop into a heavily traveled corridor. With the completion of the Dominion Overpass Project, the commercial property for this project will be developed at a rapid pace. TIA Reviews has concerns about the intersection of proposed ***Milsa Drive/Heuermann Road and Dortmund Hill*** being in close proximity to the future interchange at Dominion Drive. TIA Reviews recommends that this intersection be located a minimum of 1300 feet from the proposed interchange. The City of San Antonio and Cielo Vista Associates entered into a Road Construction and Dedication Agreement by Ordinance 74217 of August 29, 1991. In this agreement, right of way has been dedicated and approved for the conditions that TIA Reviews has concerns about. A traffic signal will not be allowed at this location due to the close proximity of the interchange.

It should be understood that the submitted TIA concurrent with the proposed Stonewall Estates PUD is a conceptual plan and therefore this document does not represent an approval for the internal street plan. All streets shall follow UDC 35-506 and the street network shall be planned in order to provide safe and efficient movement of traffic to and from, within and past, the proposed development, while minimizing the impact to non-site trips. UDC 35-506 will be implemented at the time of platting.